

**APPLICATION
FOR
CONDITIONAL USE PERMIT**

Parcel ID# 138280000004000 S 28 T 17 R 23

Name of Development: Living Proof Ministries

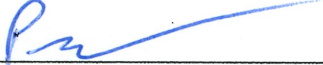
Vicinity of Development (address): 32401 Harmony Road, Paola, KS 66071

Proposed Use: Church

PROPERTY OWNER	APPLICANT (if different than owner)
NAME: Living Proof Ministries, Inc.	NAME: KASTER ARCHITECTS, INC.
ADDRESS:	ADDRESS:
32401 Harmony Road	7304 W. 130th Street
Paola, KS 66071	Suite 170
	Overland Park, KS 66213
PHONE: 913-937-7312	PHONE: 913-681-12000
EMAIL: livingproofpaola@gmail.com	EMAIL: dkaster@kasterarchitects.com

SURVEYOR / ENGINEER	CONTACT PERSON
NAME: Continental Consulting Engineers, Inc.	NAME: (Same as Applicant)
ADDRESS:	ADDRESS:
9000 State Line Road	
Leawood, KS 66206	
PHONE: 913-642-6642	PHONE:
EMAIL: at@ccengineers.com	EMAIL:

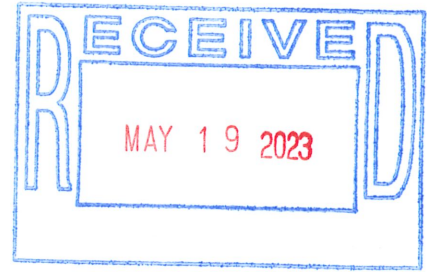
I/we, the (owner(s)/duly authorized agent), do hereby make application for a Conditional Use Permit described with this application.

Owner's Signature (all owners must sign):  Date: 5/19/23

Owner's Signature: _____ Date: _____

OFFICE USE ONLY	
Date application filed: <u>MAY 19 2023</u>	PC Hearing Date: _____
Fees: CK 2846	Application # <u>23005-CUP</u>
Application amount: \$ <u>946.55</u>	Parcel ID # _____
Stormwater Review: ** \$ _____	Receipt # <u>509584</u>
	S <u>28</u> T <u>17</u> R <u>23</u> Twp. _____
<p>** The applicant is responsible for all costs associated with a 3rd party review of a Stormwater Plan/Report. The amount collected at the time of the application is an estimated cost for the Stormwater review. Additional amounts above this amount are still the responsibility of the applicant. All excess fees above the actual cost of the review will be refunded. **</p>	

**Living Proof Ministries
32401 Harmony Road
Paola, Kansas 66071**



Conditional Use Permit(CUP) – Narrative Statement

Project Name and Description: Living Proof Classroom Addition

This Multi-Phase Project is to provide quieter classroom space as well as reduce our congestion in and out of our building on a Sunday Morning. This project is keeping the already approved CUP in force without changing our number of outside held events, existing Harmony road load nor any existing parking lot light changes except for exterior lighting that is existing to be copied and moved or added on as noted below. We will be removing the West Ball field to increase parking for existing buildings and to accommodate the no parking on the street regulation. We are working with a Wastewater Engineer, Fire Protection Engineer as well as an Environmental Engineer for floodplain and StormWater runoff updates to the proposed additions to the property. These changes are not to increase our occupancy load to the property but to provide a more comfortable building for our congregants. We will be contacting Miami County Road & Bridge to confirm any of the proposed changes will not hinder or impede the traffic on Harmony RD and 327th.

This Conditional Use Permit seeks to request a Multi Phase Project to be inclusive of the Existing CUP with the addition of these building additions beginning with:

Phase 1) Add Class Room Space onto the existing structure on the East side of the North West building. This classroom space is needed for our adult congregants on a Sunday morning prior to our Sunday Service. It will be utilized as classroom space on the North and South sides; The

Center area will be extended storage space for our worship team instruments, copier/printer housing and to create an entry on and off the back stage for our Main Auditorium. The existing lighting that has been approved from our current CUP that is located on the current building will be moved to the proposed exterior wall of the new addition. This area will not include any waste water nor water line additions to the new space nor disrupt the existing utility lines. This structure addition will increase the floor print of the existing North West Building by 2880 sq ft. This addition is not intended to increase our occupancy nor change our current time of use in the building but to provide adequate classroom space for bible studies during our pre-approved existing CUP. This addition will require us to move our current allocated ADA Parking Stalls located on the East side of the building, They will need to be moved to the outside of the new addition changing our current two way traffic to one way traffic. We have contacted Jeff Scott, PE with FP&C Consultants(contact information listed below) to initiate a Fire Safety Plan for this new addition as well as the extended safety time allowed to safely exit the existing structure. This Safety Plan will include addressing the change of the Eastern parking lot from two way traffic to one way traffic and confirm there is adequate space for a Fire Lane. This Phase will begin once we have approval of Site Plan and Building Plans.

Phase 2) The Vestibule area that connects the North and South Buildings, we are wanting to move the Western most entry wall due west by 26 feet to help with the congestion of our LP Kids Check-in and Pick up before and after service. This wall movement will increase our

square foot area by 1040 sq ft and will not affect any parking or fire lane impedance of the property that has already been approved through our current CUP. This addition will not be changing any current wastewater plans. We will have FP&C as well as REO Engineering confirm that this addition will not change any pre-existing approved CUP that we currently have with Miami County. This wall expansion is not intended to increase our occupancy but to help alleviate congestion to our main entry point into the building. There will be no exterior light changes to this addition. This Phase will begin as soon as Phase 1 is complete.

Phase 3) Living Proof Ministries is seeking to build a Youth Activity Building. We are planning on locating it at the South East corner of the existing buildings where the current playground is located. We will move the playground area to the south of the proposed building structure just North of the Eastern ball fields. The Proposed New Building would be a 120 x 70 structure That would be used on Wednesday nights for our Youth Group that range from 6th - 12th grade. The Building would include basketball and volleyball courts as well as double use as open classroom space for the youth. We Propose to have Male and Female bathrooms as well as a shower facility. On Sunday mornings the building would help us have a space for our younger kids to use as well for their classroom spaces and give them a space for activities on Sunday mornings while their parents are in service located in the main auditorium. This Building will not affect any existing Fire Lanes. We have contacted Aaron Obermiller, P.E. with R.E.O. Engineering, P.C.(contact info listed below) for our Environmental Plan for waste water and water shed plans. This proposed location is outside of the floodplain but will be confirmed with our updated stormwater management plan. This building will not increase our daily flow of traffic nor increase anticipated occupancy. This building will not change any currently approved CUPs that we have with the county. Exterior lighting will be the approved down lighting that is currently installed on the existing buildings and will be located on the West and South exterior wall so as to reduce any impacts to property owners. This Phase will begin within six months to a year of completion of Phase 2. This will provide us enough time to not conflict with the timing of Youth Camps and Christmas Eve Services on the property.

Jeff Scott, PE
FP&C Consultants
816-931-3377
www.fpc-consultants.com

Kate Pfefferkorn-Mansker, PE
Pfefferkorn Engineering & Environmental LLC
913-490-3967
kate.p@p-e2.com

Aaron Obermiller, PE
R.E.O. Engineering, PC
816-380-5150

BUILDING ADDITIONS FOR LIVING PROOF CHURCH - MIAMI COUNTY

CODE ANALYSIS:

EXTENT OF WORK

THIS PROJECT INVOLVES THE ADDITION OF TWO, SINGLE STORY, ADDITIONS TO THE EXISTING METAL BUILDING WITH NON-SEPARATED MIXED USE FOR A CHURCH FACILITY

BUILDING CODES

BUILDING WAS DESIGNED UNDER THE FOLLOWING CODES:
 AMERICANS WITH DISABILITIES ACT (ADA-AG)
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL FIRE CODE
 2018 INTERNATIONAL EXISTING BUILDING CODE
 2017 NATIONAL ELECTRIC CODE NFPA 70

GROSS BUILDING AREAS:

BUILDING:	PHASE:	AREA:
P1 STORAGE BUILDING	EXISTING	~2,795 SQ.FT.
P2 YOUTH CLASSROOMS	EXISTING	7,200 SQ.FT.
P3 PEDESTRIAN CONNECTOR	EXISTING	889 SQ.FT.
P4 SANCTUARY ADDITION	EXISTING	11,117 SQ.FT.
P5 CLASSROOMS ADDN.	PHASE 1B	2,320 SQ.FT.
P6 PEDESTRIAN CONNECTOR (ADDITION)	PHASE 1A	979 SQ.FT.
P7 ATHLETIC BLDG.	PHASE 2 (FUTURE)	7,200 SQ.FT.
TOTAL ALL BUILDINGS:		32,498 SQ.FT.

YOUTH CLASSROOM BUILDING: **P2**

EXIST. → YOUTH CLASSROOMS: 6,962 SQ.FT. 348 occupants E occ. type

PEDESTRIAN CONNECTOR: **P3 + P6**

EXIST. → ORIGINAL CONNECTOR: 889 SQ.FT. 0 occupants
 NEW → CONNECTOR ADDITION: 770 SQ.FT. 0 occupants

SANCTUARY BUILDING: **P4 + P5**

EXIST. → SANCTUARY MEZZ.: 436 SQ.FT. 134 occupants AB occ. type

MAIN LEVEL:

EXIST. → SANCTUARY: 6,252 SQ.FT. 460 occupants AB occ. type
 EXIST. → STAGE: 420 SQ.FT. 28 occupants AB occ. type
 EXIST. → SOUND BOOTH: 77 SQ.FT. 1 occupants AB occ. type
 EXIST. → ELECT./MECH.: 162 SQ.FT. 1 occupants B occ. type
 EXIST. → OFFICE AREA: 508 SQ.FT. 6 occupants B occ. type
 EXIST. → RESTROOMS: 688 SQ.FT. 0 occupants E occ. type
 NEW → CLASSROOMS 2,320 SQ.FT. 116 occupants E occ. type

TOTAL: 11,027 SQ.FT. (MAIN LEVEL) 612 occupants

FIRE ALARM DESIGN:

TO BE RE-DESIGNED BY G.K. SMITH (OR EQUAL) ENGINEER

WASTEWATER DESIGN:

TO BE ADJUSTED BY REO ENGINEERING (OR EQUAL) FOR THIS PHASE (A KANSAS LICENSED DESIGN PROFESSIONAL)

THE EXISTING SYSTEM BELOW WAS DELIBERATELY OVER-DESIGNED TO PROVIDE FOR FUTURE ADDITIONS

BUILDING PERMIT SUBMITTAL TO INCLUDE:

- EVALUATION OF ON-SITE WASTEWATER CAPACITY.
- CALCULATE FLOW RATE FOR EXISTING FACILITY
- CALCULATE FLOW RATE FOR NEW ADDITIONS.
- CALCULATE EXIST. + NEW FLOW RATES= TOTAL FLOW RATE
- ENGINEER NEEDS TO PROVIDE STATEMENT THAT EXISTING SYSTEM IS ADEQUATE OR NEEDS TO BE MODIFIED/EXPANDED TO MANAGE THE WASTEWATER FOR THE EXPANDED FACILITY.
- ENGINEER TO PROVIDE SEALED PLANS FOR MODIFIED WASTEWATER IF SYSTEM NEEDS TO BE MODIFIED TO HANDLE ADDED FLOW.

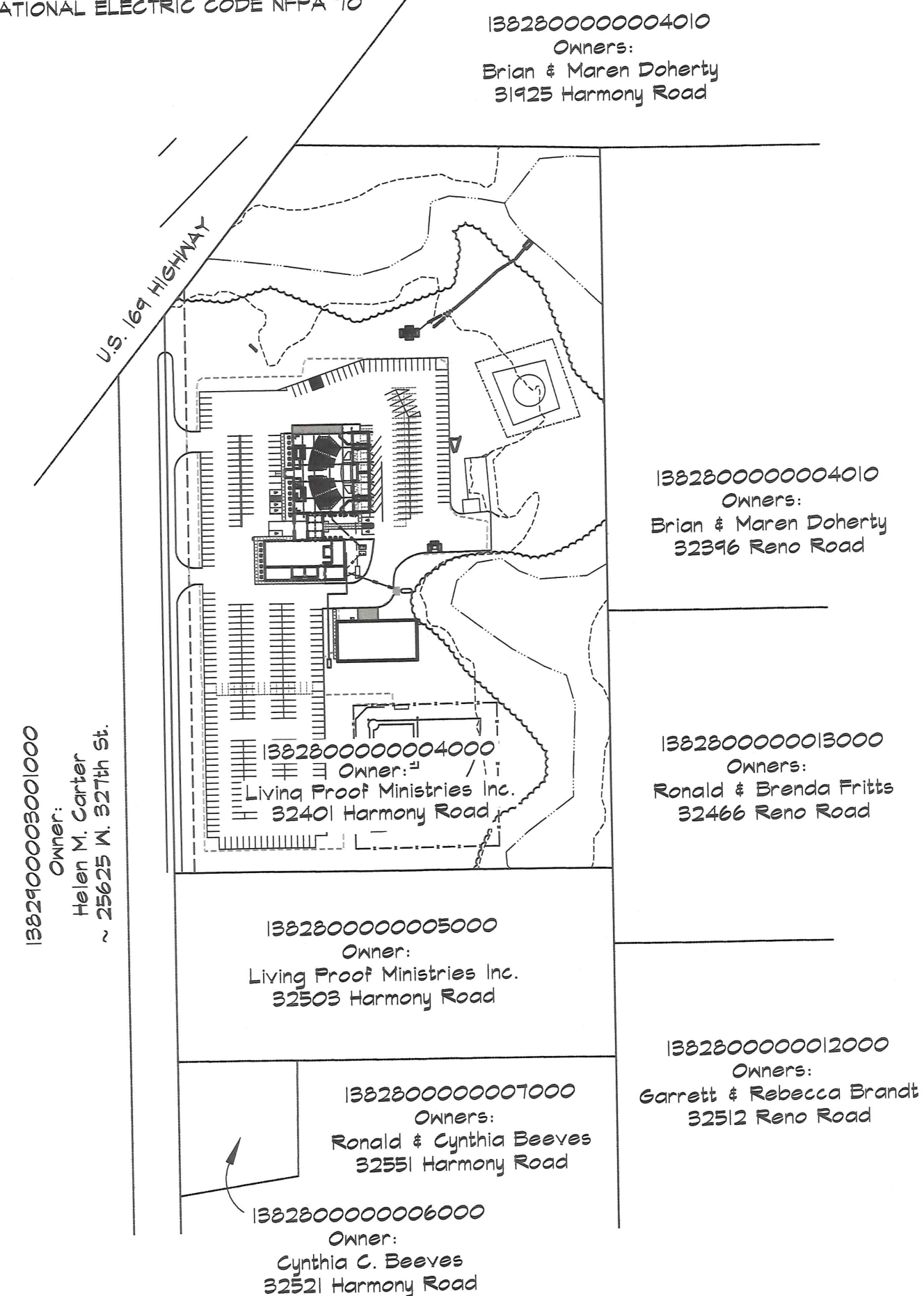
NOTE: PHASE 1A & AB ADDITIONS SHOULD NOT INCREASE THE OCCUPANT LOAD OF THE FACILITY. THESE ARE SUPPLEMENTAL USES FOR CURRENT OCCUPANTS.

YOUTH CLASSROOM BUILDING: **P2**

SOLIDS TANK: 2500 GALLON
 HOLDING TANK: 1500 GALLON
 - DRAINAGE TO LAGOON

SANCTUARY BUILDING: **P4 + P5**

SOLIDS TANK: 2500 GALLON
 HOLDING TANK: 2500 GALLON
 - DRAINAGE TO LAGOON



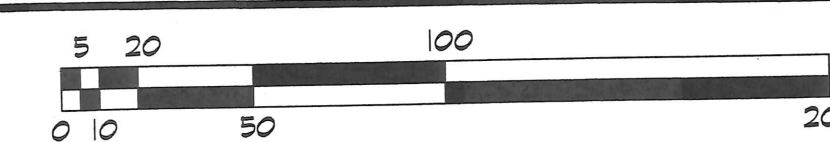
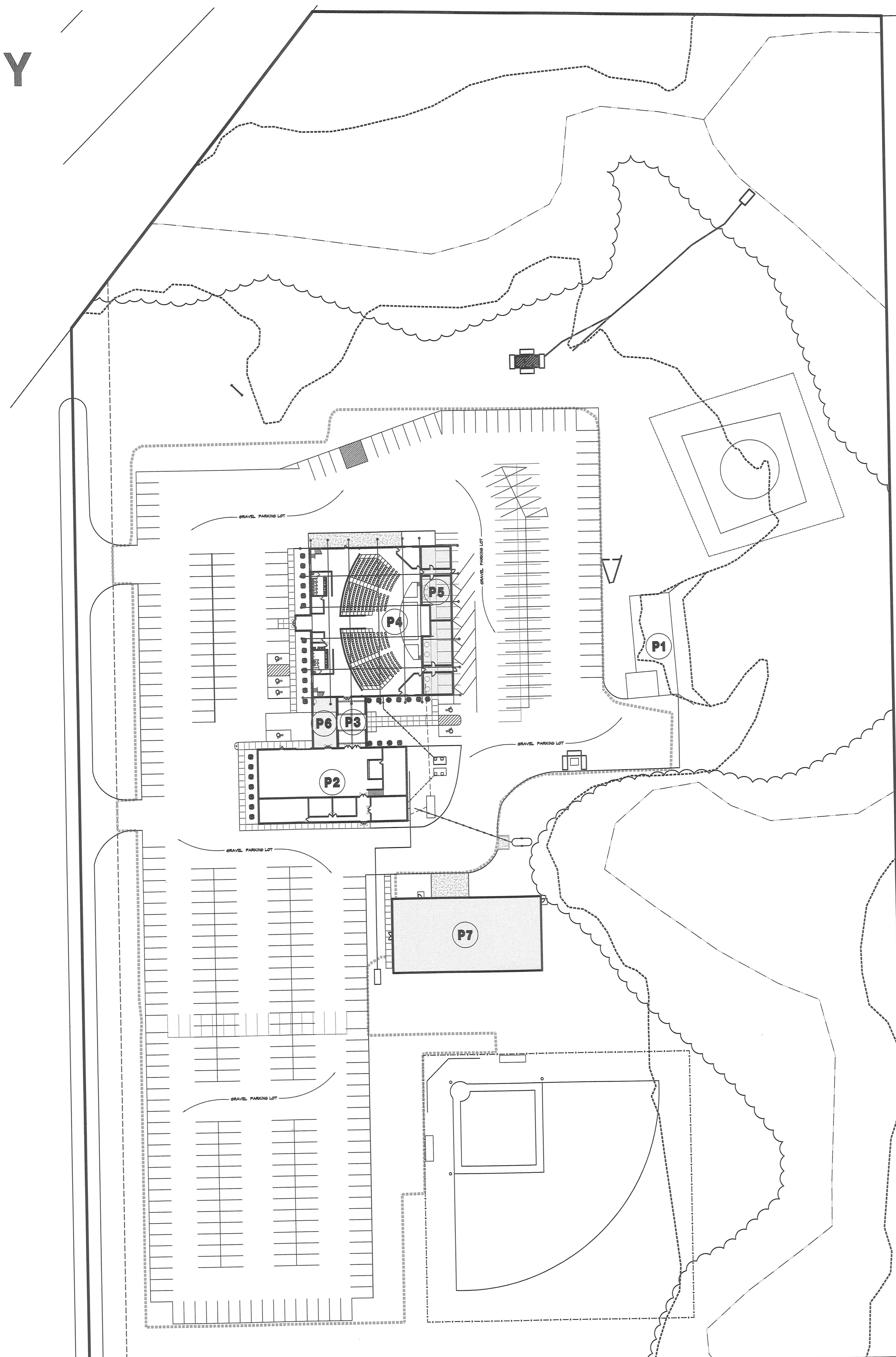
OWNERSHIP MAP

SCALE // 1" = 200'-0"



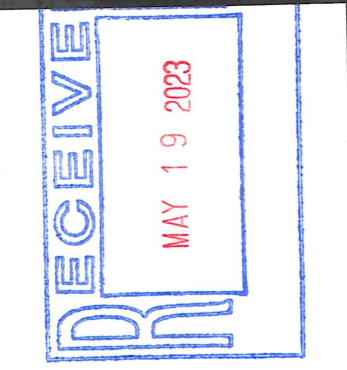
KEY MAP

NO SCALE



SITE PLAN

SCALE // 1" = 50'-0"



DAVID A. KASTER, R.A., NCARB, LEED-AP
 ROGER A. KASTER, ARCHITECT
 MICHAEL L. HOWARD, ARCHITECT
 Copyright © 2023, Kaster Architects, Inc.
 7304 W. WEST 130th STREET
 OVERLAND PARK, KANSAS 66213
 TELEPHONE (913) 681-1200
 WEB SITE www.kasterarchitects.com

KASTER ARCHITECTS INC
 ARCHITECTURE · PLANNING · INTERIOR DESIGN

BUILDING ADDITIONS FOR
LIVING PROOF CHURCH
 32401 HARMONY ROAD
 PAOLA- MIAMI COUNTY KANSAS

DATE MAY 14, 2023
 REVISED
 SHEET NUMBER
A1.1
 OF SHEETS
 KAI JOB NO. 2804-A

SITE NOTES:

- P1—EXISTING STORAGE BUILDING
- P2—EXISTING YOUTH CLASSROOM
- P3—EXISTING PEDESTRIAN CONNECTOR
- P4—EXISTING SANCTUARY
- P5—PROPOSED CLASSROOMS ADDITION (PHASE 1)
- P6—PROPOSED PEDESTRIAN CONNECTER ADDITION (PHASE 1)
- P7—PROPOSED ATHLETIC BUILDING (PHASE 2)
- P8—AERIAL FIRE TRUCK, SEE VEHICLE DIAGRAM BELOW.
- P9—EXISTING WALL PACKS TO BE REMOVED DURING CONSTRUCTION AND REPLACED ON PROPOSED EXTERIOR WALL.
- P10—EXISTING WATER METER AND HYDRANT LOCATION
- P11—EXISTING SURFACE SWALE OUTLET TO CREEK

TOTAL SITE ACREAGE = 15.75 AC

TOTAL BUILDING ADDITION SF = 10,499 SF

Phase	SF
Phase 1	3,299 SF
Phase 2	7,200 SF

PARKING

Existing:

Total Spaces	=	250
ADA Spaces (Van Accessible)	=	0(0)

Proposed:

Total Spaces	=	241
ADA Spaces (Van Accessible)	=	6(6)
Req'd ADA Spaces (Van Accessible)	=	7(2)

(Note: Additional ADA Spaces will be shown/provided with permit drawings)

TRAFFIC
The proposed improvements are not anticipated to have any significant impact on the number of motor vehicle trips entering or exiting the site.

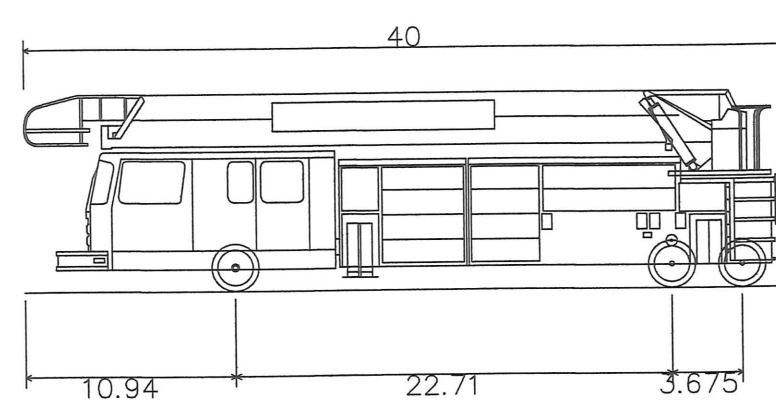
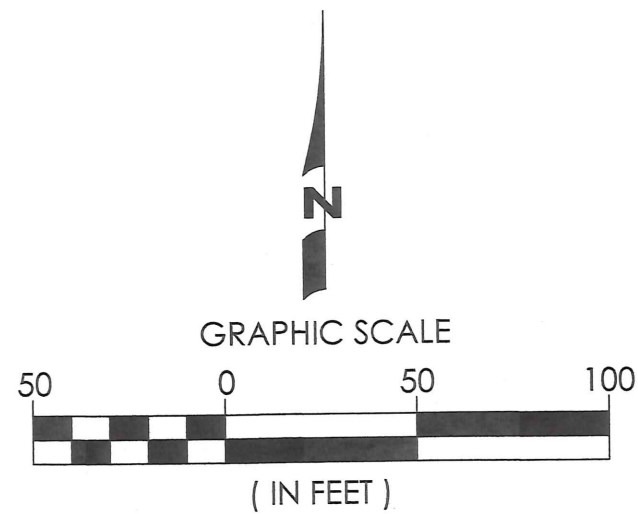
LANDSCAPING
No landscaping is proposed with these improvements.

ZONING
The existing zoning CS-Countryside.
No Re-zoning is proposed with this project.

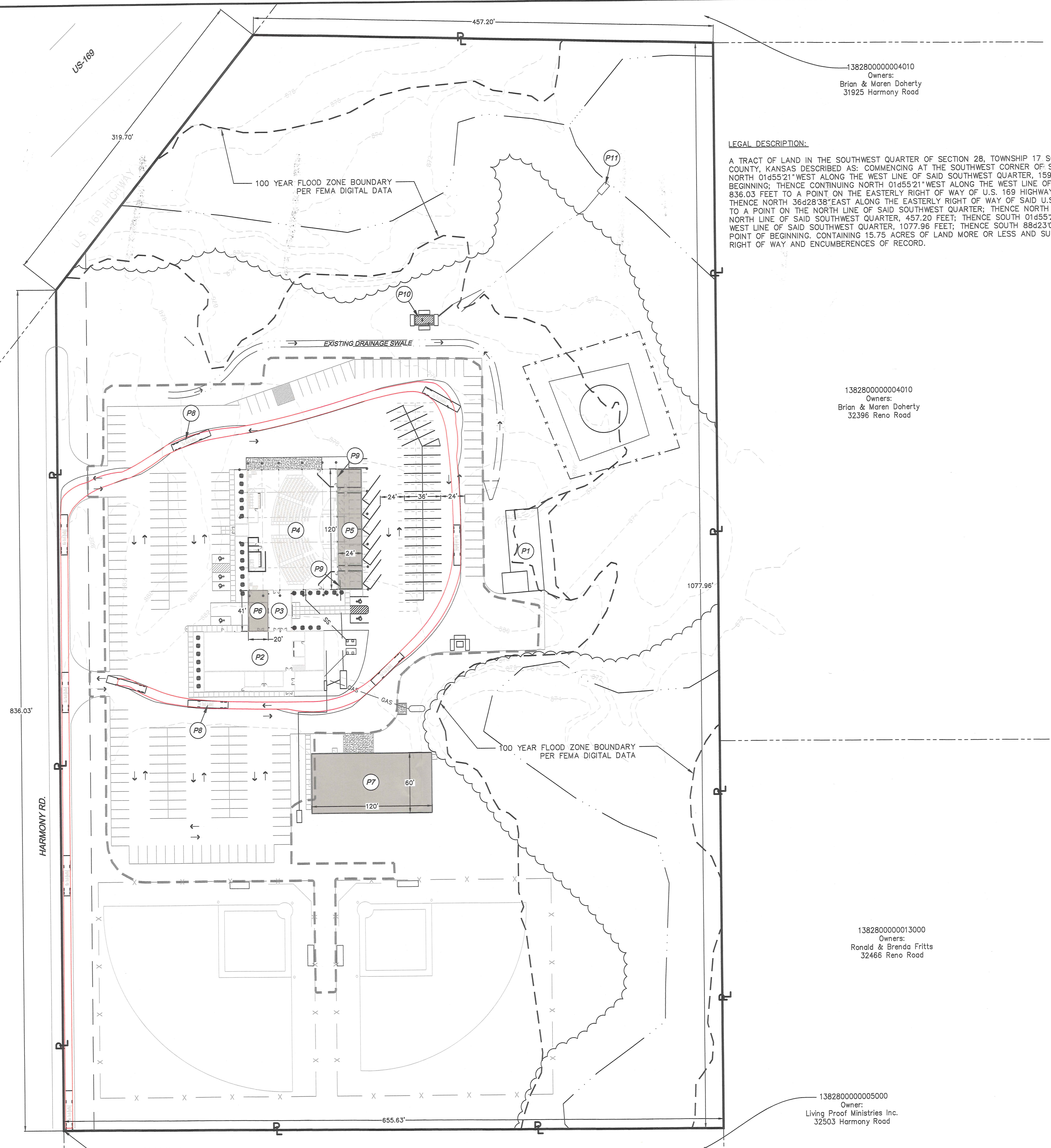
SETBACKS
Front Yard: 50 Feet
Side Yard: 20 Feet
Rear Yard: 20 Feet

STORMWATER
Net Increase in Impervious Area: ±620 SF
(Proposed Athletic Building previously accounted for in "Storm Drainage Study Update for Living Proof Church" dated 9/13/21)

1382900003001000
Owner:
Helen M. Carter
25625 W. 327th St.



Fire Truck (Ladder)
Overall Length 40.000ft
Overall Width 7.000ft
Overall Body Height 10.257ft
Min Body Ground Clearance 0.687ft
Track Width 7.000ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 42.000ft



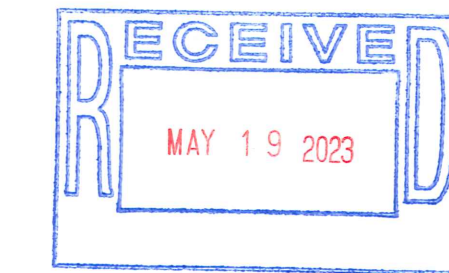
LEGAL DESCRIPTION:

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MIAMI COUNTY, KANSAS, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE NORTH 01d55'21" WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1595.42 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 01d55'21" WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 836.03 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF U.S. 169 HIGHWAY AS NOW ESTABLISHED; THENCE NORTH 36d28'38" EAST ALONG THE EASTERLY RIGHT OF WAY OF SAID U.S. 169 HIGHWAY, 319.70 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 89d35'57" EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, 457.20 FEET; THENCE SOUTH 01d55'21" EAST PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER, 1077.96 FEET; THENCE SOUTH 88d23'07" WEST 655.63 FEET TO THE POINT OF BEGINNING, CONTAINING 15.75 ACRES OF LAND MORE OR LESS AND SUBJECT TO EXISTING ROAD RIGHT OF WAY AND ENCUMBRANCES OF RECORD.

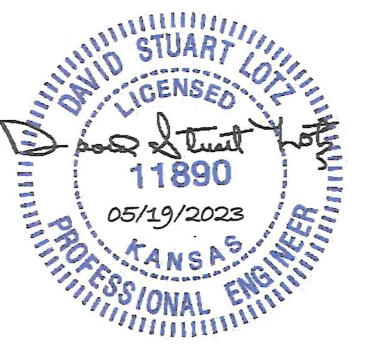
138280000004010
Owners:
Brian & Maren Doherty
31925 Harmony Road

1382800000013000
Owners:
Ronald & Brenda Fritts
32466 Reno Road

138280000005000
Owner:
Living Proof Ministries Inc.
32503 Harmony Road



SINCE 1976
Continental
CONSULTING ENGINEERS, INC.
8000 STATE LINE ROAD
LEAWOOD, KANSAS 66206
11006 PARALLEL PARKWAY
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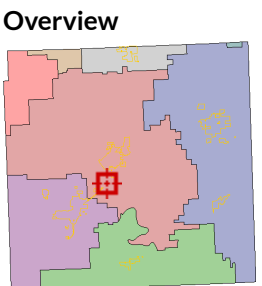
BUILDING ADDITIONS FOR
LIVING PROOF CHURCH
32401 HARMONY ROAD
PAOLA-MIAMI COUNTY KANSAS

Project No. ---
Date: 05.19.2023
Issued For: CUP
Revisions:

No.	Date	Description



C1.01
SITE PLAN



- ### Legend
- City Limits
 - Centerlines
 - Parcels
 - Lakes
- ### Flood Zones
- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
 - A
 - AE

Parcel ID= 138280000004000
 Acres= 15.23078656

Date created: 5/19/2023
 Last Data Uploaded: 4/28/2023 2:28:58 PM

Developed by  Schneider
 GEOSPATIAL