

General Description of Proposed Use

The proposed use of the property will be private seasonal and intermittent youth cricket practice and cricket matches taking place as part of community cookouts or gatherings. Such proposed use will only occur on a portion of the property and the remaining portion will continue to be farmed in the same manner as it has been farmed in recent years. There will be no commercial use of the property. There will be no public use of the property and the proposed use will not affect commerce. Participants will be permitted on the property by private invitation only. Owner will post signage that the property is not open to the public.

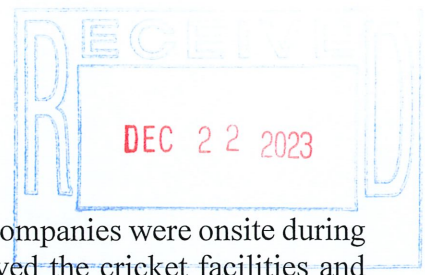
The property will be used for cricket purposes only between the months of April and September (and only generally when the temperature is between 55° F and 100° F). There is one permanent sign marking the cricket field as “Fazal Daad Field”. This sign is approximately 8 feet at its highest point (picture enclosed). While participants are on the property, there may also be portable pop-up tents or temporary signs, but such items will be removed at the end of the day. Two portable toilets and one storage container will be present on the property during such months. At the end of each summer, these items will be removed from the property.

Youth practices (both boys and girls) will take place approximately once per week in the evening or on weekends during either the day or evening. Additionally, such evening practices will be limited to days where sunlight is still available after 7 p.m. Such practices will be similar to an American baseball batting practice where the children practice pitching and hitting, rather than a full scrimmage. On such days, there will be no more than 20 players. Participants will carpool to the property with a few parents and there will be no more than 10 cars parked at the property. Anticipated noise will be minimal. No amplified noise or music will occur. No lights will be used in connection with the proposed use.

Cricket matches will take place as part of a cookout or gathering amongst members of the community. Such events will take place on long weekends only (e.g., Memorial Day and Labor Day) and will occur no more than 3 times per year. There will be no food trucks. Each match will consist of two teams of 11 players each. Members of the community will carpool to the property and there will be no more than 25 cars parked at the property during such matches. Anticipated noise will be minimal. No amplified noise or music will occur. No lights will be used in connection with the proposed use.

Utilities and Infrastructure

To arrive at the property, participants will travel on US 69 Highway to the 311th Street Exit. Participants will then head west on 311th Street to Spring Valley Road and then follow Spring Valley Road north to 299th Street. Vehicles will enter the property from 299th Street and participants will park their vehicles several hundred feet north of 299th Street. Very little traffic will be generated by the proposed use. Vehicles will be parked within the area shown on the enclosed aerial, which will remain grass. Two portable toilets will be placed on the property during the summer months. There is already water service established for the property through Rural Water County District No. 2. No electrical service will be required for the proposed use. No lights will be used in connection with the proposed use.



A pipeline easement runs through this property. The pipeline companies were onsite during installation of improvements and have already inspected and approved the cricket facilities and proposed use. Owner is working to obtain written statements evidencing such approval.

Impacts to Surrounding Properties

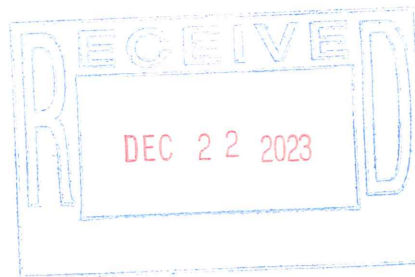
There will be no impact to surrounding properties. The trees currently existing on the property and surrounding property and crops planted on the property provide a landscape buffer that will nearly eliminates any visual impact to surrounding landowners. The grade of the property also nearly eliminates the ability to see any activities from 299th Street. Anticipated noise will be minimal. No amplified noise or music will occur. No lights will be used in connection with the proposed use.

Other Information

The activities that took place during Labor Day weekend of 2023 were consistent with the above-described proposed use. The enclosed aerial photos were taken on that day. One item to note from Labor Day weekend is that the company sponsorship signs that were present that weekend contained names of five companies, four of which are owned by Hussnain Fazal, the sole member of the limited liability company that owns the property. There was no financial benefit to Hussnain, his companies simply paid for most of the expenses so the community could gather and play cricket.

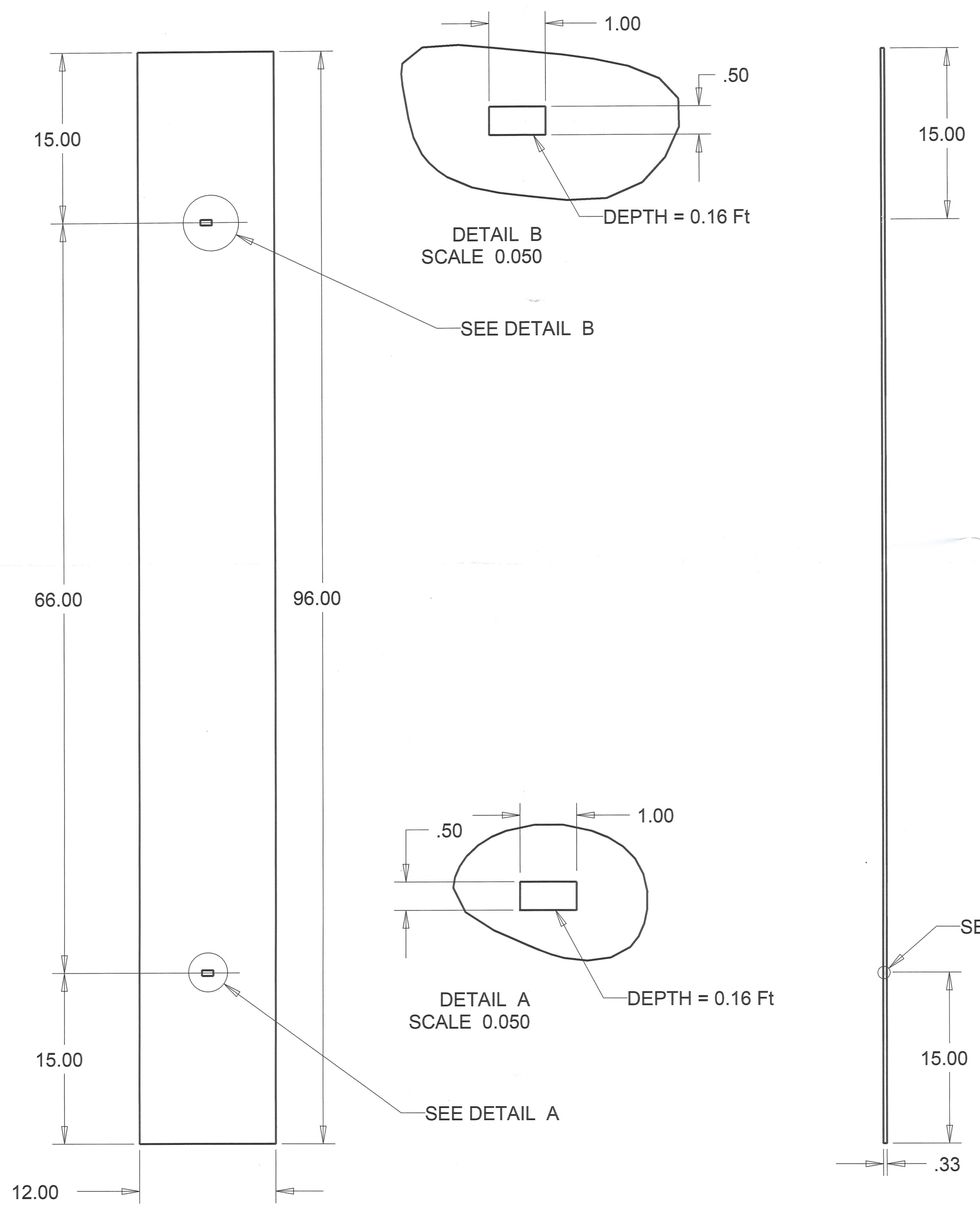
Enclosed are copies of the sketch plan showing the cricket related improvements, as well as aerial photos showing the area of the proposed use and parking area. The cricket pitch will consist of a poured concrete area of 106 feet by 12 feet, with astroturf on top of the concrete. A second, smaller pitch, also consisting of concrete covered with astroturf will be 70 feet by 12 feet. No other improvements are required for the proposed use.

The proposed use of the property will be in compliance with this narrative.



NOTES: This sheet only captures the details of the concrete slab.

1. Overall thickness of the concrete slab is 0.33 ft.
2. Concrete Slab must be 0.16 ft above the ground.
3. Concrete base must be flat and smooth.
4. Steel mesh reinforcing should be used in the base.
5. Concrete Slab should have a slight cross fall of 1% on either side for Drainage.
6. Concrete Slab should be smooth and even with a Power Floated Finish.



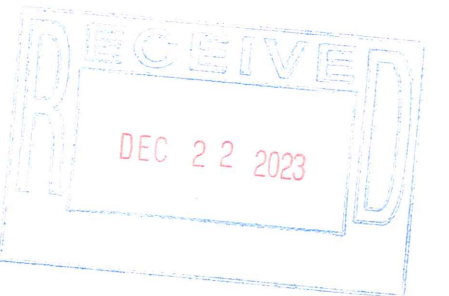
DETAIL B
SCALE 0.050

DETAIL A
SCALE 0.050

DETAIL D
SCALE 0.250

ALL DIMENSIONS ARE MEASURED IN FEET

GENERAL TOLERANCES UNLESS NOTED			r		
.XXX	.XX	ANGLES	MODEL		
0.001	0.01	0.50	PITCH		
DRAWN		DATE	SIZE	DRAWING NAME	
			C	PITCH	
		DATE	SCALE	TYPE	SHEET
			0.010	PART	1/3



1 2 3 4 5 6 7 8 9

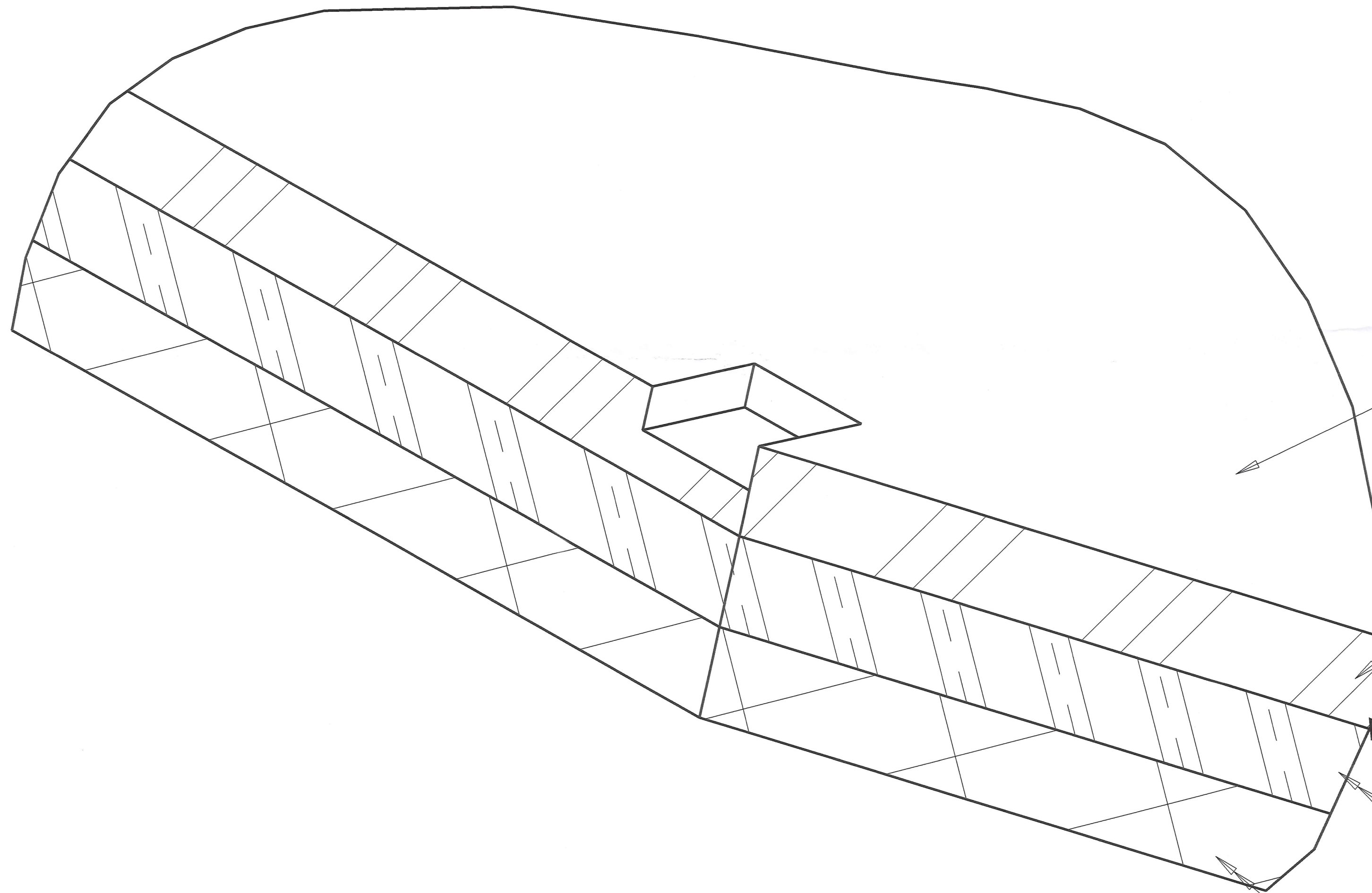
A
B
C
D
E
F
G

SECTION XSEC0001-XSEC0001
SCALE 0.025

XSEC0001

XSEC0001

SEE DETAIL C



Astroturf Mat

0.33 ft Concrete Slab with
Steel HRC Mesh

Damp Proof Course (Polythene)

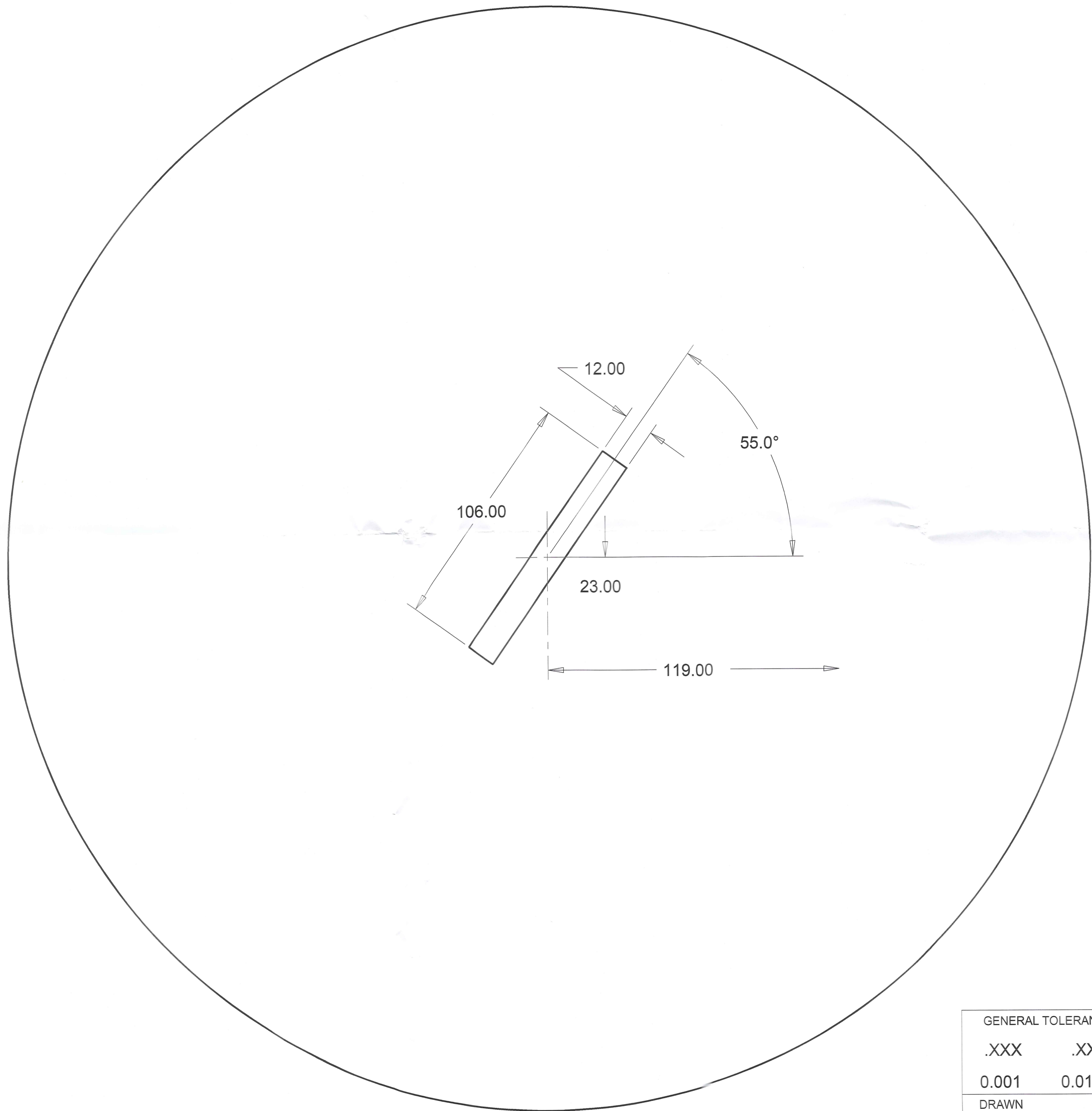
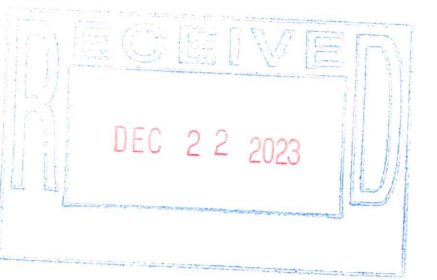
0.5 ft Compacted Landfill
To be increased based on Soil Conditions

Soil

DETAIL C
SCALE 0.200

ALL DIMENSIONS ARE MEASURED IN FEET

GENERAL TOLERANCES UNLESS NOTED			MODEL		
.XXX	.XX	ANGLES	PITCH_ASM		
0.001	0.01	0.50			
DRAWN		DATE	SIZE	DRAWING NAME	
			C	PITCH	
		DATE	SCALE	TYPE	ASSEM
		DATE	0.005		SHEET 2/3



SCALE 0.003

ALL DIMENSIONS ARE MEASURED IN FEET

GENERAL TOLERANCES UNLESS NOTED		
.XXX	.XX	ANGLES
0.001	0.01	0.50
DRAWN	DATE	
	Mar17-22	
	DATE	
	DATE	

MODEL			
PITCH_ASM			
SIZE	DRAWING NAME		
C	PITCH		
SCALE	0.005	TYPE	ASSEM
		SHEET	3/3

1 2 3 4 5 6 7 8 9

A

B

C

D

E

F

G

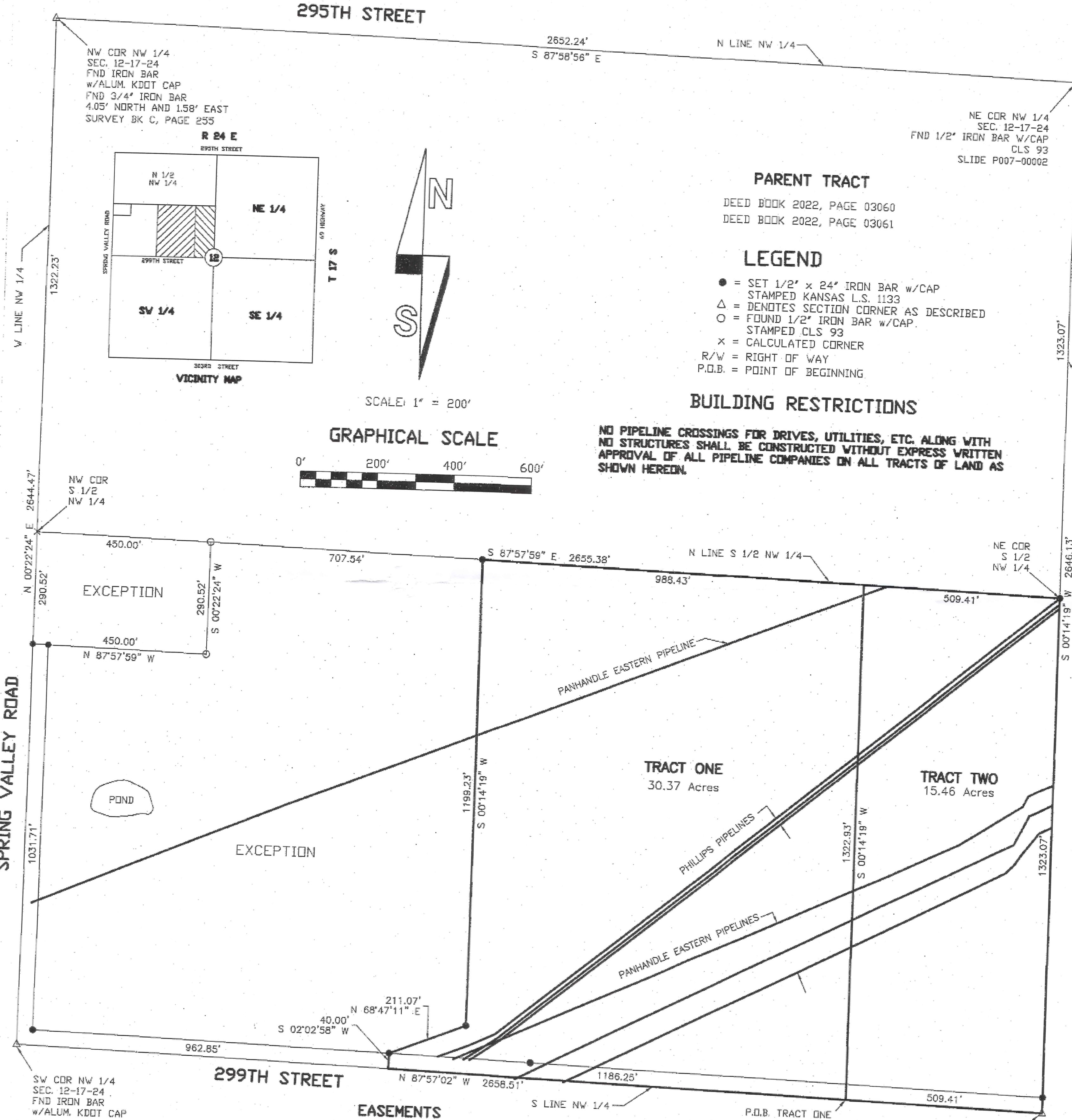
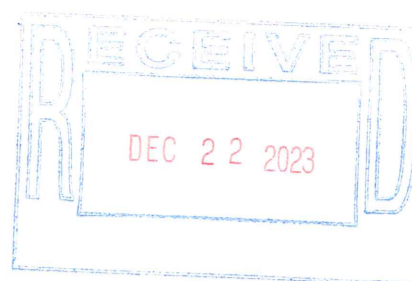
FLOODPLAIN STATEMENT

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOODPLAIN AS PER THE FEDERAL ADMINISTRATION'S "FLOOD HAZARD BOUNDARY MAP" (DATED) JANUARY 16, 2014). COMMUNITY NO. 2012C0205D AS NOTED HEREON.

**LOT SPLIT SURVEY
PART OF THE NORTHWEST QUARTER OF
SECTION 12, TOWNSHIP 17 SOUTH, RANGE 24 EAST,
MIAMI COUNTY, KANSAS**

**LEGAL DESCRIPTIONS
TRACT ONE**

21-025



*Commencing at the Southeast corner of the Northwest Quarter of Section 12, Township 17 South, Range 24 East, thence North 87°57'02" West 509.41 Feet along the South line of said Quarter Section to the true point of beginning, thence continuing North 87°57'02" West 1186.25 Feet along the South line of said Quarter Section, thence North 2°02'58" East 40.00 Feet, thence North 68°47'11" East 211.07 Feet, thence North 0°14'19" East 1199.23 Feet along a line parallel to the East line of said Quarter Section to a point on the North line of the South Half of said Quarter Section, thence South 87°57'59" East 988.43 Feet along the North line of the South Half of said Quarter Section, thence South 0°14'19" West 1322.93 Feet along a line parallel to the East line of said Quarter Section to the point of beginning, all in Miami County, Kansas, as prepared by me Timothy D. Reeves, P.S. 1133 on April 3, 2022. Subject to any part thereof in roads.

TRACT TWO
*Beginning at the Southeast corner of the Northwest Quarter of Section 12, Township 17 South, Range 24 East, thence North 87°57'02" West 509.41 Feet, thence North 0°14'19" East 1322.93 Feet along a line parallel to the East line of said Quarter Section to a point on the North line of the South Half of said Quarter Section, thence South 87°57'59" East 509.41 Feet along the North line of the South Half of said Quarter Section to a point being the Northeast corner of the South Half of said Quarter Section, thence South 0°14'19" West 1323.07 Feet along the East line of said Quarter Section to the point of beginning, all in Miami County, Kansas, as prepared by me Timothy D. Reeves, P.S. 1133 on April 3, 2022. Subject to any part thereof in roads.

PARENT TRACT

DEED BOOK 2022, PAGE 03060
DEED BOOK 2022, PAGE 03061

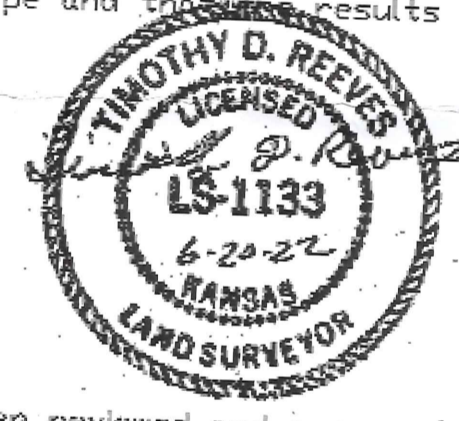
LEGEND

- = SET 1/2" x 24" IRON BAR w/CAP STAMPED KANSAS L.S. 1133
- △ = DENOTES SECTION CORNER AS DESCRIBED
- = FOUND 1/2" IRON BAR w/CAP STAMPED CLS 93
- x = CALCULATED CORNER
- R/W = RIGHT OF WAY
- P.O.B. = POINT OF BEGINNING

BUILDING RESTRICTIONS

NO PIPELINE CROSSINGS FOR DRIVES, UTILITIES, ETC. ALONG WITH NO STRUCTURES SHALL BE CONSTRUCTED WITHOUT EXPRESS WRITTEN APPROVAL OF ALL PIPELINE COMPANIES ON ALL TRACTS OF LAND AS SHOWN HEREON.

I hereby certify that we have made the hereon shown survey on the ground under my direct supervision this 3rd day of April, 2022, and that said survey meets or exceeds the current KANSAS MINIMUM STANDARDS for land boundary surveys of this type and that the results of said survey are correctly shown on this plat.



Timothy D. Reeves, P.S.
Kansas 1133

This survey has been reviewed and approved for filing, pursuant to K.S.A. 58-2003 58-2005, 58-2011 and 68-12-1 for content only and is compliant with this ACT. No other warranties are extended or implied.

Approved By: *Richard A. Weiss* Date: 6/21/22
Richard A. Weiss
Kansas L.S. #1216

Lot Split - L.S. 22009-LS

This Lot Split was approved by the County of Miami, Kansas this 30 day of JUNE 2022.

Approved By: *Katie Forck* ASST. PLANNING DIRECTOR
State of Kansas))
))
County of Miami))

Filed for record this 1st day of JULY, 2022 at 7:45 AM o'clock, A.M., at Book , Page , at the Register of Deeds Office at Paola, Miami County, Kansas.

SLIDE NUMBER P022-55
Katie Forck Register of Deeds
Homestead Deputy

I hereby certify, as County Treasurer of Miami County, Kansas that there are no unpaid taxes, special assessments, or liens outstanding against this property as of this 30 day of JUNE 2022.

Rebecca Holmbeck County Treasurer
Tricia Lee Treasurer

April 3, 2022

NOTE

BEARINGS ARE BASED ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 SOUTH, RANGE 24 EAST, BEING ASSUMED NORTH 87°57'02" WEST.

AMERICAN LAND SURVEYS
Land Surveyors
P.O. Box 1112
Louisburg Kansas 66053
(913)-837-1633

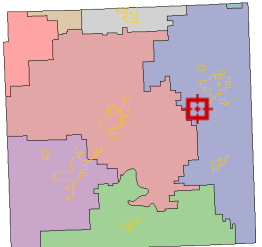
- EASEMENTS**
- 1.) MISSOURI-KANSAS PIPE CO. BLANKET ESMT., MISC. BOOK 144, PAGE 538, NOW KNOWN AS PANHANDLE EASTERN PIPELINE CO.
 - 2.) PHILLIPS PIPE LINE CO. BLANKET ESMT., MISC. BOOK 150, PAGE 341.
 - 3.) MIAMI COUNTY RIGHT OF WAY S. 40' NW 1/4, MISC. BOOK 267, PAGE 80.
 - 4.) RWD#2, BLANKET ESMT. MISC. BOOK 308, PAGE 223.
 - 5.) RWD#2, BLANKET ESMT. MISC. BOOK 834, PAGE 403.
 - 6.) MARAIS DES CYGNES PUBLIC UTILITY AUTHORITY, BLANKET ESMT. MISC. BOOK 2006, PAGE 04584.

08/05/22
2:35 PM CDT
dotloop verified




dotloop signature verification: dltp-us/SoQu-zxud-lynu



Overview



Legend

-  City Limits
-  Centerlines
-  Parcels
-  Lakes

Parcel ID= 121120000012030
Acres= 29.105693850000002

This property ownership map is for tax purposes only. It is not intended for conveyances, nor is it a legal survey.

Date created: 1/3/2024
Last Data Uploaded: 1/3/2024 12:24:14 PM

Developed by  **Schneider**
GEOSPATIAL